



HG 2.5 CONCEPT
THE COMPUTER PLACE
510 BROADWAY AVE.
KILLARNEY, MB
ROK 1G0
2018

A. DEMOLITION GENERAL NOTES

1. ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS & AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. OBTAIN REQUIRED APPROVALS AND PERMITS PRIOR TO STARTING ANY WORK ON SITE.
2. CONTRACTOR TO COMPLY WITH ALL BASE BUILDING WORK REGULATIONS AND PROCEDURES.
3. PRIOR TO DEMOLITION WORK, EXAMINE THE SITE TO DETERMINE THE EXTENT OF DEMOLITION. ALL CUT OFF POINTS FOR AREAS TO REMAIN SHALL BE CLEAN AND PRECISE. PROTECT ALL AREAS TO REMAIN FROM DAMAGE DURING THE DEMOLITION AND CONSTRUCTION PHASES. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH CONSTRUCTION DRAWINGS.
4. ALL EXISTING FIRE SEPARATIONS TO BE RETAINED. REPAIR ANY DAMAGED FIRE SEPARATIONS INCURRED DURING DEMOLITION WORK TO ORIGINAL REQUIRED FIRE SEPARATION RATING.
5. ALL DEBRIS SHALL BE COLLECTED AND REMOVED AT THE END OF EACH WORKING DAY.
6. CONTRACTOR SHALL NOT BLOCK EXITS AND/OR MEANS OF EGRESS AT ANY TIME. INDICATE EXITS CLEARLY DURING THE ENTIRE PROJECT. BASE BUILDING WASHROOMS, ELEVATORS SHALL REMAIN ACCESSIBLE.
7. REFER TO ELECTRICAL, MECHANICAL AND COMMUNICATIONS ENGINEERS DRAWINGS FOR ALL ENGINEERING RELATED DEMOLITION.
8. STRIP EXISTING WALL COVERING FROM ALL BASE BUILDING COLUMNS AND PARTITIONS (WHERE APPLICABLE). PATCH AND PREPARE FOR NEW FINISH.
9. REMOVE AND CAP ALL EXISTING WIRING IN PARTITIONS AND CEILINGS THAT ARE TO BE DEMOLISHED. STRIP BACK TO SOURCE. COORDINATE WITH ELECTRICAL CONSULTANT.
10. ALL EXISTING POWER, VOICE AND DATA FLOOR MONUMENTS TO BE REMOVED, WHERE INDICATED AND WIRING STRIPPED BACK TO SOURCE UNLESS OTHERWISE NOTED.
11. ALL EXISTING FLOOR COVERINGS TO BE REMOVED, UNLESS OTHERWISE INDICATED AND FLOOR SLAB TO BE STRIPPED OF ANY FOREIGN MATERIALS (GLUE, ETC.). PATCH ANY DAMAGED AREAS AND MAKE GOOD SUB-FLOOR. PREPARE SUB-FLOOR READY FOR NEW FINISH AS SPECIFIED ON THE FINISHES PLAN.
12. ALL EXISTING WALL BASE TO BE REMOVED.
13. GENERAL CONTRACTOR TO REMOVE AND STORE ALL MISCELLANEOUS DOOR HARDWARE THROUGHOUT, INCLUSIVE OF STOPS, CLOSERS, ETC. CONTRACTOR TO REFER TO HARDWARE SCHEDULE FOR SPECIFIC ITEMS ALLOCATED FOR REUSE.
14. CONTRACTOR TO MAKE GOOD ALL GMB PARTITIONS, COLUMNS, BULKHEADS, CEILINGS AT LOCATIONS WHERE DEMOLITION OCCURS. CONTRACTOR TO REPAIR GMB, SKIM COAT, SAND AND PREPARE FOR NEW FINISH AS SPECIFIED.
15. CONTRACTOR TO MAKE GOOD ANY EXISTING REVEALS OR RECESSED BASE LOCATIONS IN EXISTING PARTITIONS/COLUMNS/CORE WALLS TO REMAIN.
16. CONTRACTOR TO REPAIR ALL EXISTING DAMAGED WALLS TO MEET BASE BUILDING STANDARD.

B. CONSTRUCTION GENERAL NOTES

1. ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS & AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. OBTAIN REQUIRED APPROVALS AND PERMITS PRIOR TO STARTING ANY WORK ON SITE.
2. CONTRACTOR SHALL COMPLY WITH BASE BUILDING WORK PROCEDURES AND REGULATIONS. PROTECT ALL BASE BUILDING SYSTEMS AND EQUIPMENT DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS OF ANY DAMAGES TO THE BASE BUILDING CAUSED BY CONTRACTOR AND/OR BY HIS/HER SUB-CONTRACTORS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE LANDLORD AND THE OWNER WITH A SET OF RECORD DRAWINGS UPON COMPLETION OF WORK.
4. WHERE APPLICABLE, THE CONTRACTOR IS TO FOLLOW EACH PHASE AS INDICATED. SEAL OFF EACH AREA AS WORK IS BEING PERFORMED, SO AS NOT TO DISTURB DAY TO DAY OPERATION. ACCESS TO WASHROOMS, ELEVATORS, STAIRS, ETC. MUST REMAIN IN CONSTANT OPERATION.
5. THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEERS DRAWINGS AND SPECIFICATIONS. REPORT ANY CONFLICTS BETWEEN CONSULTANTS DRAWINGS TO TELUS FOR CLARIFICATION. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES IN INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO TELUS PRIOR TO ANY WORK PROCEEDING FOR CLARIFICATION AND INSTRUCTIONS.
6. UNLESS OTHERWISE NOTED ON PLAN OR DETAIL DRAWING, ALL PARTITIONS ARE TO BE CENTERED ON CEILING GRID. CEILING TILE OR WINDOW MULLION. ALL PARTITIONS SHOWN IN LINE WITH ONE FACE OF BASE BUILDING WALL OR COLUMN, SHALL BE CONSTRUCTED TO FINISH FLUSH AS ONE CONTINUOUS SURFACE. WHERE NEW PARTITIONS ABUT COLUMNS, RUN DRYWALL PAST FACE OF COLUMN. OBTAIN PARTITION CHALK LINE LAYOUT APPROVAL FROM TELUS PRIOR TO ANY WALL ERECTIONS. REVIEW PLANS, ELEVATIONS AND DETAILS FOR MILLWORK, SCREENS AND ALL WALL HUNG ITEMS AND DOORS (SLIDING AND PIVOT). ENSURE ADEQUATE BLOCKING IS PROVIDED WITHIN PARTITIONS AND CEILINGS.
7. CONTRACTOR TO PROVIDE ALL NECESSARY FASTENINGS, ANCHORS, BRACKET, ACCESSORIES AND SUPPORTS REQUIRED FOR FABRICATION OF THE WORK.
8. CHECK AND VERIFY FLOOR LEVEL PRIOR TO ANY PARTITION LAYOUT. PROVIDE SKIM COAT ON FLOOR IF NECESSARY.
9. ALL NEW AND EXISTING GMB PARTITIONS TO BE FILLED, TAPED, SANDED AND PRIMED TO RECEIVE FINISHES AS INDICATED ON FINISHES PLAN.
10. GENERAL CONTRACTOR IS TO SUBMIT SHOP DRAWINGS FOR ALL MILLWORK ITEMS AND OTHER FABRICATED ITEMS FOR DESIGNER'S APPROVAL PRIOR TO WORK FABRICATIONS.
11. WHERE 2 DIFFERENT PAINT FINISHES MEET ON ONE CONTINUOUS VERTICAL SURFACE (WALL OR BULKHEAD) PROVIDE 1/4" VERTICAL REVEAL, TYPICAL.
12. INSTALL DOOR OPENINGS AT 6" FROM ADJACENT PERPENDICULAR WALL, TYP.

C. REFLECTED CEILING DEMOLITION GENERAL NOTES

1. ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS & AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. OBTAIN REQUIRED APPROVALS AND PERMITS PRIOR TO STARTING ANY WORK ON SITE.
2. CONTRACTOR TO COMPLY WITH ALL BASE BUILDING WORK REGULATIONS AND PROCEDURES.
3. PRIOR TO DEMOLITION WORK, EXAMINE THE SITE TO DETERMINE THE EXTENT OF DEMOLITION. ALL CUT OFF POINTS FOR AREAS TO REMAIN SHALL BE CLEAN AND PRECISE. PROTECT ALL AREAS TO REMAIN FROM DAMAGE DURING THE DEMOLITION AND CONSTRUCTION PHASES. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH CONSTRUCTION DRAWINGS.
4. CEILING DEMOLITION IS CONCURRENT WITH NEW PARTITION LAYOUT. REFER TO CONSTRUCTION PLAN FOR EXACT LOCATIONS OF NEW PARTITIONS AND EXACT EXTENT OF CEILING DEMOLITION.
5. ALL EXISTING FIRE SEPARATIONS TO BE RETAINED. REPAIR ANY DAMAGED FIRE SEPARATIONS INCURRED DURING DEMOLITION WORK TO ORIGINAL REQUIRED FIRE SEPARATION RATING.
6. ALL DEBRIS SHALL BE COLLECTED AND REMOVED AT THE END OF EACH WORKING DAY.
7. CONTRACTOR SHALL NOT BLOCK EXITS AND/OR MEANS OF EGRESS AT ANY TIME. INDICATE EXITS CLEARLY DURING THE ENTIRE PROJECT. BASE BUILDING WASHROOMS, ELEVATORS SHALL REMAIN ACCESSIBLE.
8. REFER TO ELECTRICAL, MECHANICAL AND COMMUNICATIONS ENGINEERS DRAWINGS FOR ALL ENGINEERING RELATED DEMOLITION.
9. REMOVE AND CAP ALL EXISTING WIRING IN PARTITIONS AND CEILINGS THAT ARE TO BE DEMOLISHED. STRIP BACK TO SOURCE. COORDINATE WITH ELECTRICAL CONSULTANT.
10. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES THAT ARE TO BE REUSED. REFER TO REFLECTED CEILING DEMOLITION PLAN AND ELECTRICAL ENGINEERS DRAWINGS FOR DETAILS. RETURN UNUSED FIXTURES TO LANDLORD.
11. CONTRACTOR TO MAKE GOOD ALL GMB PARTITIONS, COLUMNS, BULKHEADS, CEILINGS AT LOCATIONS WHERE DEMOLITION OCCURS. CONTRACTOR TO REPAIR GMB, SKIM COAT, SAND AND PREPARE FOR NEW FINISH AS SPECIFIED.

D. REFLECTED CEILING GENERAL NOTES

1. ALL ELECTRICAL AND MECHANICAL WORK TO COMPLY WITH REQUIREMENTS OF ALL APPLICABLE CODES, AUTHORITIES HAVING JURISDICTION AND BUILDING LANDLORD.
2. DESIGN CONSULTANT'S REFLECTED CEILING PLAN SHALL BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEER CONSULTANT'S DRAWINGS (DUCTWORK AND SYSTEMS CLEARANCES ETC.). REFER ALSO TO ENGINEERS DRAWINGS AND SPECIFICATIONS FOR LIGHTING SPECIFICATIONS, CABLING SPECIFICATIONS, EXIT LIGHTS, SWITCHING, CIRCUITING, EMERGENCY LIGHTING, PHASING, ETC.
3. LOCATE ALL FIXTURES IN ACCORDANCE WITH INTERIOR DESIGNER'S DRAWINGS. REPORT ANY DISCREPANCIES BETWEEN DESIGNER'S AND ENGINEER'S DRAWINGS TO TELUS DESIGN CONSULTANTS IMMEDIATELY. OBTAIN INSTRUCTIONS BEFORE COMMENCING INSTALLATION.
4. TELUS TO APPROVE LOCATIONS ON SITE OF ALL LIGHTING PRIOR TO INSTALLATION. CONTRACTOR TO MARK OUT LOCATIONS AND REPORT ANY INTERFERENCES WITH DUCTS, PIPING, BEAMS, ETC., IMMEDIATELY.
5. ALL REQUIRED CHANGES ARE TO BE APPROVED BY DESIGNER PRIOR TO PROCEEDING WITH INSTALLATION.
6. CONTRACTOR TO CARRY ALLOWANCE FOR ACCESS PANELS IN SUSPENDED GMB CEILING AS REQUIRED. LOCATIONS MUST BE APPROVED BY DESIGNER PRIOR TO INSTALLATION. ACCESS PANELS (SIZE TO BE CONFIRMED) TO BE MADE OF 5/8" THICK. MDF, FLUSH WITH DRYWALL CEILING, PAINT FINISH TO MATCH CEILING. PROVIDE 1/8" REVEAL. ALL THE WAY AROUND THE PANEL, TYPICAL.
7. ALL SWITCHES TO BE LOCATED 4" AFF AND 8" AWAY FROM FINISHED WALL OR DOOR FRAME REVEAL, UNLESS OTHERWISE NOTED. ALL FIXTURES NOT INDICATED ON SWITCHES OR DIMMERS TO BE CONTROLLED BY MAIN LIGHTING CONTROLS. REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR ZONING OF ALL RELATED SWITCHES.
8. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR REVISIONS TO LIFE SAFETY SYSTEMS.
9. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR SUGGESTED LOCATIONS OF ADDITIONAL AND EXISTING BASE BUILDING EXIT LIGHTS. WIRE TO BASE BUILDING EMERGENCY SYSTEM AS PER ELECTRICAL ENGINEER'S INSTRUCTIONS. ELECTRICAL ENGINEER TO VERIFY LOCATIONS, TELUS DESIGN CONSULTANTS TO CONFIRM.
10. REFER TO SHEET ID-303 FOR CEILING CONSTRUCTION DETAILS. SEE MECHANICAL ENGINEERS DRAWINGS FOR LOCATIONS, WHERE AIR SUPPLY/RETURN SLOTS OCCUR IN T-BAR CEILINGS. FRAME OPENING WITH ITS AS REQUIRED. REFER TO MECHANICAL DRAWINGS.
11. ELECTRICAL ENGINEER SHALL PROVIDE NIGHT LIGHT AS REQUIRED AND ENSURE ALL AREAS HAVE ADEQUATE LEVELS OF LIGHT.
12. SWITCHING BANKS SHALL BE AS CONDENSED AS POSSIBLE, GANGED HORIZONTALLY, ALTERNATES MUST BE APPROVED BY DESIGNER PRIOR TO ORDER PLACEMENT.
13. REFER TO FINISHES PLAN FOR CEILING FINISHES.
14. LIGHTING SUPPLIER SHALL BE RESPONSIBLE FOR CSA APPROVAL AND ALL COSTS INCURRED FOR LIGHT FIXTURES PRIOR TO INSTALLATION.
15. ANY VISIBLE OBJECTS/AREA VISIBLE ABOVE GMB SLOTS TO BE PAINTED BLACK.
16. ANY PROPOSED CHANGES AND/OR MODIFICATIONS DUE TO FIELD CONDITIONS MUST RECEIVE APPROVAL FROM INTERIOR DESIGNER.
17. DIMENSIONS ARE TAKEN FROM THE CENTER OF LIGHT FIXTURES. NEW FIXTURES TO BE INSTALLED IN THE CENTER OF TILE UNLESS OTHERWISE NOTED.
18. PATCH AND PAINT (WHERE APPLICABLE) AND/OR REPLACE ANY DAMAGED T-BAR AND REPLACE ANY SOILED AND/OR DAMAGED ACOUSTIC TILES TO MATCH EXISTING BASE BUILDING STANDARD.

E. FURNITURE, POWER AND COMMUNICATION GENERAL NOTES

1. ALL ELECTRICAL AND COMMUNICATIONS WORK TO COMPLY WITH CODE REQUIREMENTS AND AUTHORITIES HAVING JURISDICTION, REQUIREMENTS OF BUILDING LANDLORD, ENGINEERS DRAWINGS AND SPECIFICATIONS.
2. ALL REQUIRED CHANGES ARE TO BE APPROVED BY DESIGNER PRIOR TO PROCEEDING WITH CHANGES FROM THE SUBMITTED CONSTRUCTION DOCUMENTS.
3. ALL FURNITURE N.I.C. UNLESS INDICATED OTHERWISE.
4. REFER TO ENGINEERS DRAWINGS FOR CABLING AND OUTLET SPECIFICATIONS, CIRCUITING, PHASING, GROUNDING ETC. ANY DISCREPANCIES BETWEEN THIS DRAWING AND ENGINEERS DRAWINGS TO BE REPORTED TO DESIGN CONSULTANT FOR CLARIFICATION PRIOR TO INSTALLATION OF ANY OUTLET(S).
5. TELUS DESIGNERS TO APPROVE ALL LOCATIONS OF OUTLETS AND FLOOR DRILLING PRIOR TO WORK PROCEEDING. ALL OUTLETS ARE TO BE MARKED ON FLOOR SLAB OR RAISED FLOOR PRIOR TO INSTALLATION.
6. THIS DRAWING TO BE USED FOR THE PURPOSE OF LOCATION ONLY. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF OUTLET OR TO THE CENTER OF A GROUP OF OUTLETS. UNLESS NOTED OTHERWISE, ALL POWER, TELEPHONE AND DATA OUTLETS TO BE MOUNTED AT 12" AFF ON CENTRE. UNLESS NOTED OTHERWISE, ALL OUTLETS TO BE CENTERED ON WALL WITH NICHE OR BETWEEN CORNER AND DOOR FRAME ON WALL ON WHICH THEY APPEAR.
7. ALL OUTLETS MOUNTED ABOVE MILLWORK ARE TO BE INSTALLED HORIZONTALLY. CONTRACTOR TO COORDINATE LOCATION OF OUTLETS WITH MILLWORK DRAWINGS.
8. WHERE OUTLETS ARE MOUNTED ON OPPOSITE SIDES OF SAME PARTITION, STAGGER TO RETAIN ACOUSTIC ATTENUATION OF PARTITION.
9. WHERE TWO OR MORE SINGLE OUTLETS ARE SHOWN SIDE BY SIDE, ENSURE GROUPING IS GANGED IN A SINGLE COVER PLATE TO A MAXIMUM OF 3 OUTLETS PER FACEPLATE UNLESS OTHERWISE INDICATED.
10. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR ALL SECURITY REQUIREMENTS.
11. ALL NEW OUTLETS, SWITCHES AND COVER PLATES TO BE DECORA TYPE, COLOUR WHITE, UNLESS NOTED OTHERWISE.
12. ALL WALL AND FLOOR CUTTING SHALL BE PATCHED AND MAKE GOOD. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND CHASING ALL CONDUIT. REFER TO ENGINEERS DWGS FOR TYPES AND SPECS.

F. FINISHES GENERAL NOTES

1. ALL INTERIOR FINISHES TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE, LATEST REVISION AND AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR TO REFER TO THE FINISHES SCHEDULE IN FINISHES PLAN FOR ALL FINISH SPECIFICATIONS. CONTRACTOR TO REFER TO THE SPECIFICATION MANUAL FOR INSTALLATION INSTRUCTIONS. ALL INTERIOR FINISHES TO BE INSTALLED AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS SO AS TO OBTAIN FULL PRODUCT WARRANTY AVAILABLE. GENERAL CONTRACTOR REQUIRED TO WARRANTY ALL MATERIAL SUPPLIED AND INSTALLED.
3. SAMPLES OF ALL FINISH MATERIALS TO BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO INSTALLATION. NO SUBSTITUTIONS FOR ANY SPECIFIED FINISHES WILL BE ALLOWED UNLESS APPROVED IN WRITING BY DESIGNER.
4. REFER TO MILLWORK DETAIL DRAWINGS AND FINISHES SCHEDULE IN THE FINISHES PLAN FOR ALL PLASTIC LAMINATE SPECIFICATIONS RELATING TO MILLWORK CONSTRUCTION.
5. UNLESS OTHERWISE NOTED FLOOR FINISHES TO BE INSTALLED BEFORE MILLWORK INSTALLATION.
6. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND NEW FLOORING FINISHES WITH PLASTIC SHEETING UPON COMPLETION OF INSTALLATION AS REQUIRED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
7. TYPICALLY, CHANGE IN FLOORING MATERIAL IS TO OCCUR AT MIDPOINT OF DOOR OPENING UNLESS OTHERWISE INDICATED.
8. WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE FEATHER FLOOR AS REQUIRED.
9. CONTRACTOR TO REFER TO THE FINISHES SCHEDULE IN THE SPECIFICATION BOOKLET FOR COORDINATION BETWEEN FLOOR FINISH AND WALL BASE FINISH SPECIFICATIONS.
10. ALL WALL AND CEILING FINISHES TO HAVE A FLAME-SPREAD RATING NOT TO EXCEED 150.
11. ALL NEW AND EXISTING GMB PARTITIONS, COLUMNS, INTERIOR CORE AND PERIMETER WALLS TO RECEIVE NEW PAINT FINISH PT-1 AS SPECIFIED UNLESS NOTED OTHERWISE.
12. ALL NEW AND EXISTING GMB CEILINGS TO RECEIVE NEW PAINT FINISH PT-1 UNLESS NOTED OTHERWISE.
13. ALL ROOMS TO RECEIVE NEW BASE B3, UNLESS OTHERWISE NOTED.
14. THIS DRAWING TO BE READ IN CONJUNCTION WITH REFLECTED CEILING PLAN AND ELEVATIONS FOR LOCATION AND EXTENT OF FINISHES.
15. REFER TO DOOR SCHEDULE IN SPECIFICATION BOOK FOR DOOR AND FRAME FINISHES.
16. ALL EXPOSED DRYWALL ON PERIMETER WALLS AND COLUMNS AROUND WINDOW TO HAVE PAINT FINISH TO MATCH AREA IN WHICH WINDOW OCCURS.
17. REVEALS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISHES. IN CASES OF AMBIGUITY, DESIGNERS TO BE CONSULTED.

DRAWING LIST

ID100	SITE PLAN, BUILDING PLAN, AND UNIT PLAN
ID101	PARTITION PLAN
ID102	FIXTURE PLAN
ID103	REFLECTED CEILING PLAN
ID104	POWER & COMMUNICATIONS PLAN
ID105	FINISHES PLAN

ID201	INTERIOR ELEVATIONS
ID202	ACCESSIBLE BATHROOM INTERIOR ELEVATIONS
ID203	STOREFRONT ELEVATION & SIGNAGE DETAIL

ID301	STOREFRONT SECTIONS & PORTAL TV DETAILS
ID302	BASEBOARD DETAILS & WALL TYPE SECTIONS
ID303	STOREFRONT SECTION DETAILS, DOOR ELEVATION AND

SECTIONS, AND CEILING DETAIL

ID401	ACCESSORY ZONE (M14 & M15) DETAILS
ID402	RECHARGE (M-8P)

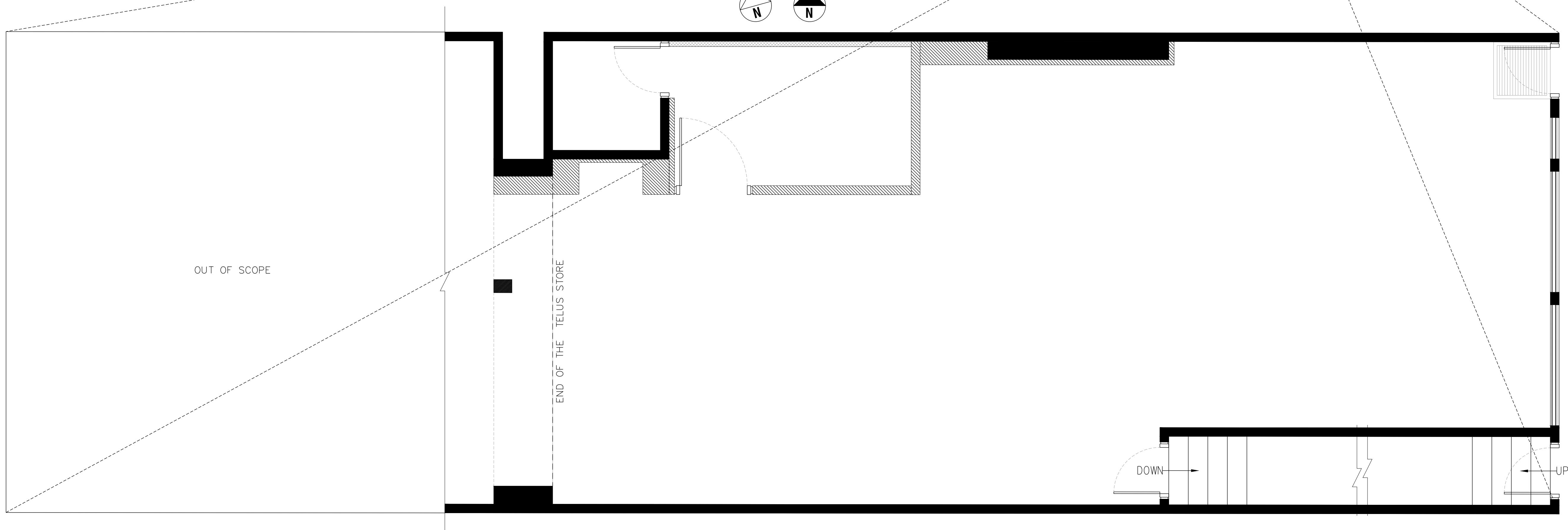
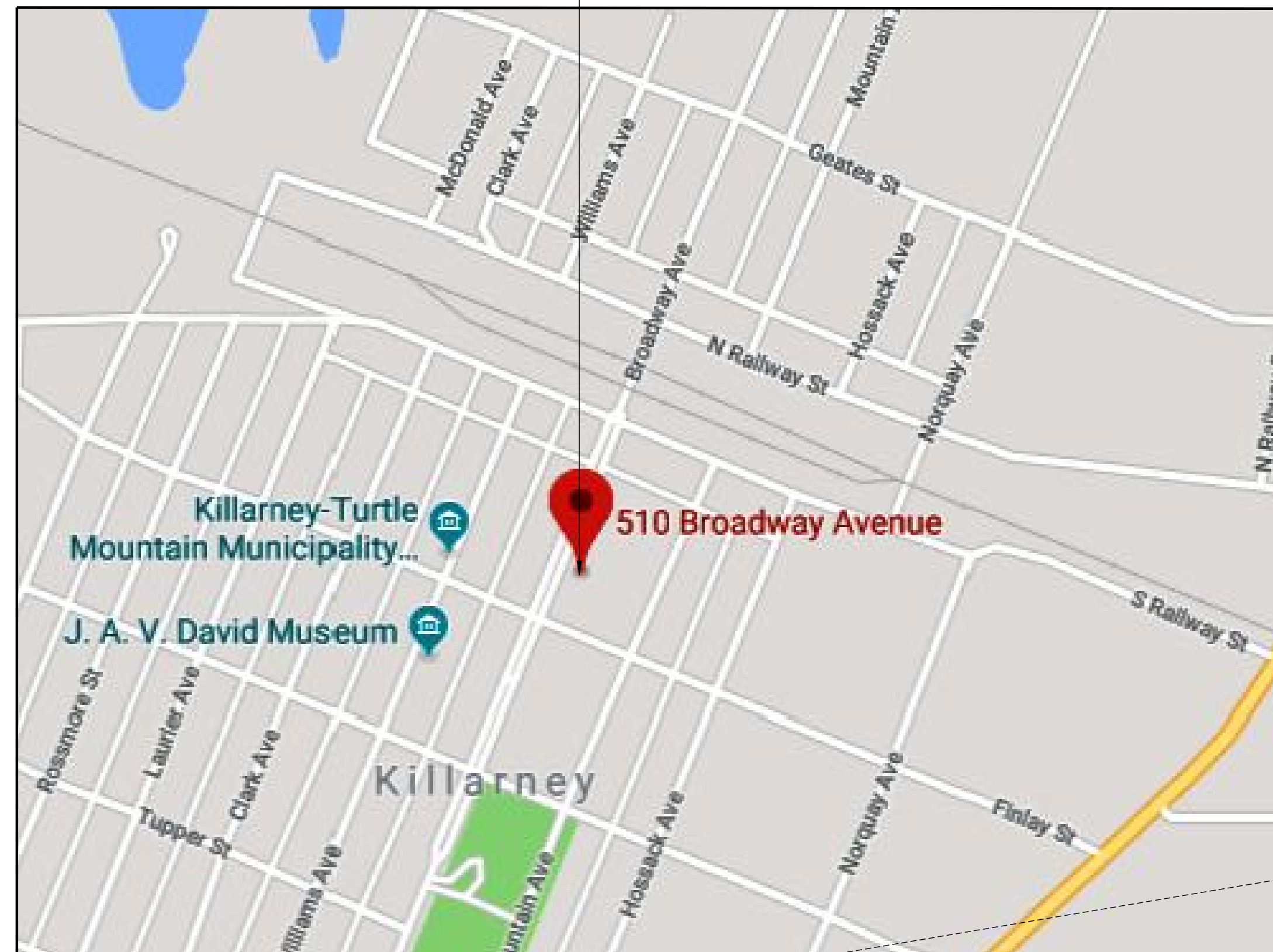
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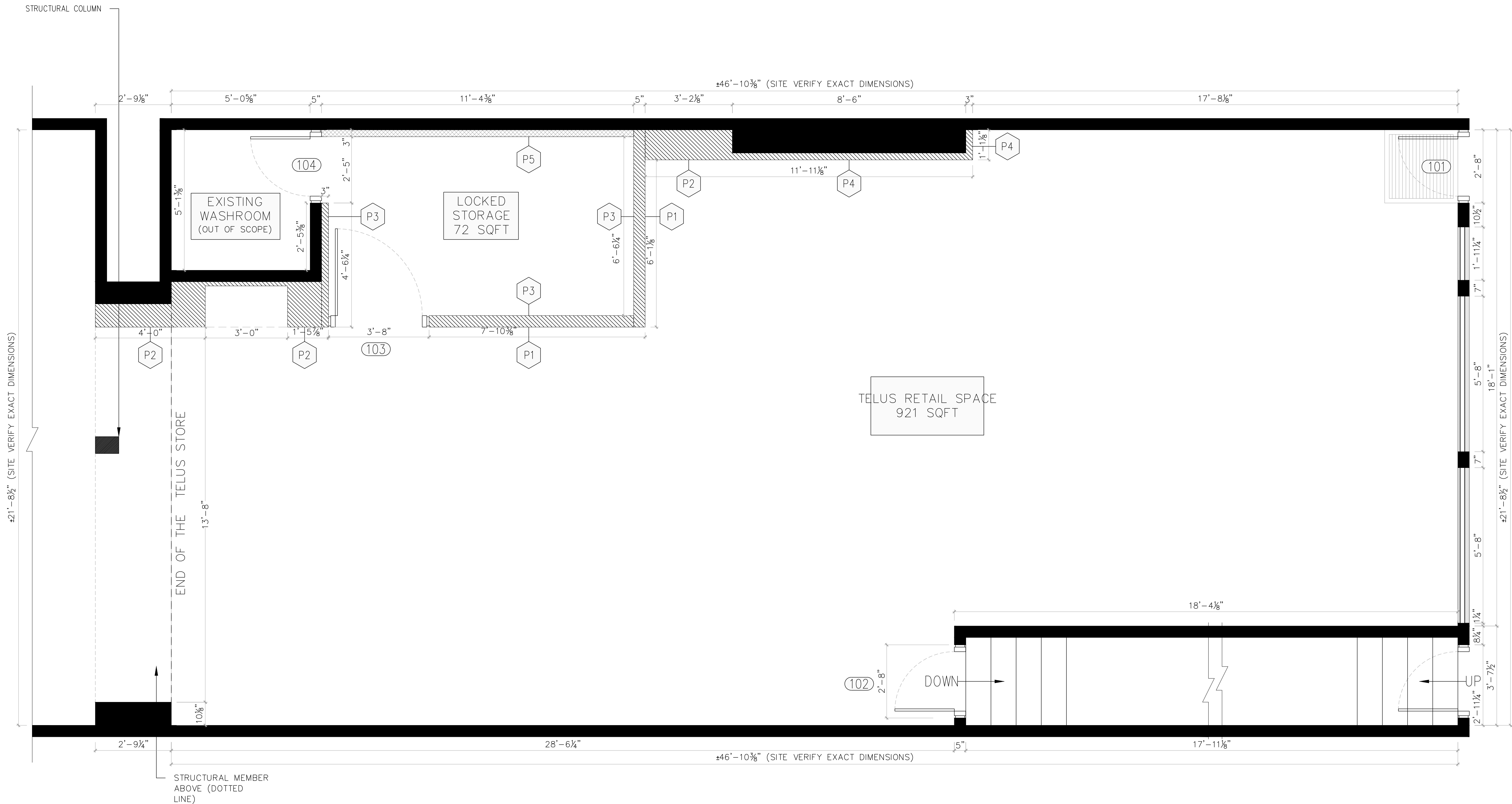
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HG 2.5 CONCEPT
 THE COMPUTER PLACE
 510 BROADWAY AVE.
 KILLARNEY, MB
 ROK 1G0

DATE		DRAWN BY	CHECKED BY
2018		DC	RT
PROJECT NAME / NO.	SCALE		REVISION
TBD	0' - 1/2" = 1' - 0"		N/A





DOORWAY SCHEDULE

DOOR						FRAME			HARDWARE	DESCRIPTION
NO.	LOCATION	SIZE	TYPE	MATERIAL	FINISH	MATERIAL	WIDTH	FINISH		
101	STORE ENTRANCE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	BY DEALER	EXISTING DOOR
102	BASEMENT ENTRANCE	EXISTING	EXISTING	EXISTING	PT-1	EXISTING	EXISTING	PT-1	BY DEALER	EXISTING DOOR
103	LOCKED STORAGE ENTRANCE	3'-2"L x 7'-0"H	SINGLE	HOLLOW METAL	PT-1	HOLLOW METAL	1 3/4" W.	PT-1	BY DEALER	STAINLESS STEEL KICK PLATE, SURFACE MOUNT DOOR CLOSER ON PULL SIDE OF DOOR. GC TO ENSURE DOOR IS IN GOOD WORKING ORDER. REPLACE HARDWARE IF NEEDED.
104	WASHROOM ENTRANCE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	BY DEALER	EXISTING DOOR

GENERAL NOTES:

- CONTRACTOR TO COORDINATE FRAMING REQUIREMENTS WITH HARDWARE SPECIFICATIONS.
- ALL PAINT GRADE DOORS AND HEADERS TO RECEIVE SHOP APPLIED SPRAY PAINT FINISH AS SPECIFIED.
- GENERAL LEVER HARDWARE SPECIFICATION : SARGEANT LNF IN SATIN CHROME FINISH.

WALL TYPES LEGEND

P1	STANDARD PARTITION - TO U/S OF FINISHED CEILING 15.9mm (5/8") GYPSUM PANELS, 1 LAYER, EACH SIDE OF 92mm (3 5/8") STEEL STUDS AT 400mm (16") O.C.
P2	STANDARD PARTITION - TO U/S OF FINISHED CEILING TO ACHIEVE VARIABLE DEPTH 15.9mm (5/8") GYPSUM PANELS, 1 LAYER, EACH SIDE OF 92mm (3 5/8") STEEL STUDS AT 400mm (16") O.C.
P3	STANDARD PARTITION - TO U/S OF FINISHED CEILING C/W METAL MESH 15.9mm (5/8") GYPSUM PANELS, 1 LAYER, EACH SIDE OF 92mm (3 5/8") STEEL STUDS AT 400mm (16") O.C. PROVIDE SECURITY MESH ON INTERIOR SIDE FASTENED TO STUDS AS REQUIRED TO SECURE MESH.
P4	FURRING TO EXISTING WALL SURFACE 12.7mm (1/2") GYPSUM PANELS, 1 LAYER, ONE SIDE OF 92 mm (3 5/8") STEEL STUDS AND/OR FURRING CHANNELS AT 400mm (16") O.C. *MATERIAL OF EXISTING BACKING WALL MAY VARY. PARTITION TO GO TO UNDERSIDE OF NEW GWB CEILING.
P5	FURRING TO EXISTING WALL SURFACE C/W METAL MESH 15.9mm (5/8") GYPSUM PANELS, 1 LAYER, ONE SIDE OF STEEL FURRING CHANNELS AT 400mm (16") O.C. PROVIDE SECURITY MESH BETWEEN GWB AND STEEL METAL FURRING CHANNELS FASTENED AS REQUIRED TO SECURE MESH. *MATERIAL OF EXISTING BACKING WALL MAY VARY. PARTITION TO GO TO UNDERSIDE OF NEW GWB CEILING.

GENERAL NOTES

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY TELUS DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION

THIS DRAWING IS NOT TO BE SCALED.

ISSUED FOR REVIEW



25 YORK ST.
25TH FLOOR
TORONTO ONT.
M5J 2V4

HG 2.5 CONCEPT
THE COMPUTER PLACE
510 BROADWAY AVE.
KILLARNEY, MB
R0K 1G0

PARTITION PLAN

DRAWING NO.

ID101

DATE:	2018	DRAWN BY:	DG	CHECKED BY:	RT
PROJECT NO.	TBD	SCALE	0' - 1/2" = 1' - 0"	REVISION	N/A

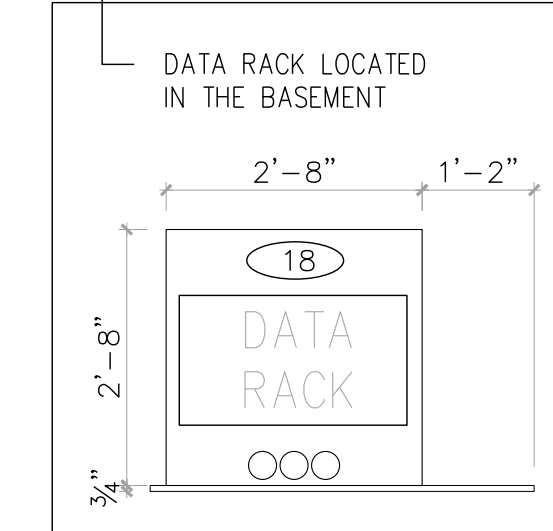
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SYMBOL	NAME	SUPPLIER	DESCRIPTION	QTY.
01A	SMART HUB – RIGHT	TELUS – MEUBLES BUSCH		2
01C	SMART HUB – GRAPHIC PANEL	TELUS – MEUBLES BUSCH		2
01D	SMART HUB – CHAIR W/ CASTERS	TELUS – MEUBLES BUSCH		2
01E	SMART HUB – GUEST CHAIR	TELUS – MEUBLES BUSCH		2
02	SMART HUB – PRINTER CABINET	TELUS – MEUBLES BUSCH		1
03	SMART HUB – FILE CABINET	TELUS – MEUBLES BUSCH		1
04A	ACCESSORY WALL – 4’ MODULE	TELUS – MEUBLES BUSCH		3
04B	ACCESSORY WALL – CORNER UNIT	TELUS – MEUBLES BUSCH		1
04C	ACCESSORY WALL – END COLUMN	TELUS – MEUBLES BUSCH		1
05	RECHARGE STATION	TELUS – MEUBLES BUSCH		1
06	POS STATION	TELUS – MEUBLES BUSCH	WITHOUT FRAME – INSERT	1
09A	FISO FIXTURE (LARGE)	TELUS – MEUBLES BUSCH		2
10	SMART TABLE	TELUS – MEUBLES BUSCH		1
11B	OPTIK LOUNGE – SOFA	TELUS – MEUBLES BUSCH		2
12B	VERTICAL OPTIK – NON-BRANDED	TELUS – MEUBLES BUSCH	"FOR WESTMENT'S"	1
17B	HSPA SAFE – RIGHT HINGE	TELUS	24"x20" – RIGHT HINGE STANDARD	1
18	DATA RACK	TELUS	"LOCATION: BASEMENT"	1
19	OPEN SIGN	TELUS – LANDMARK SIGNS		1

MERCHANDISING ELEMENTS				
SYMBOL	NAME	SUPPLIER	DESCRIPTION	QTY.
101	TRUMPET POSTER	TELUS	FIXTURE DIM: TRIM SIZE: 22"x28" (K6)	0
102	A FRAME	TELUS	FIXTURE DIM: TRIM SIZE: 22"x28" (K6)	0
103	ILLUMINATED POSTER BOX (SMALL)	TELUS	FIXTURE DIM: TRIM SIZE: 22"x28" (K6)	2
104	ILLUMINATED POSTER BOX (LARGE)	TELUS	FIXTURE DIM: TRIM SIZE: 36"x48" (K4)	0
105	SNAP FRAME (SMALL)	TELUS	FIXTURE DIM: TRIM SIZE: 22"x28" FINISH: WHITE	0
106	SNAP FRAME (LARGE)	TELUS	FIXTURE DIM: TRIM SIZE: 36"x48" FINISH: WHITE	0



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STATUS:			

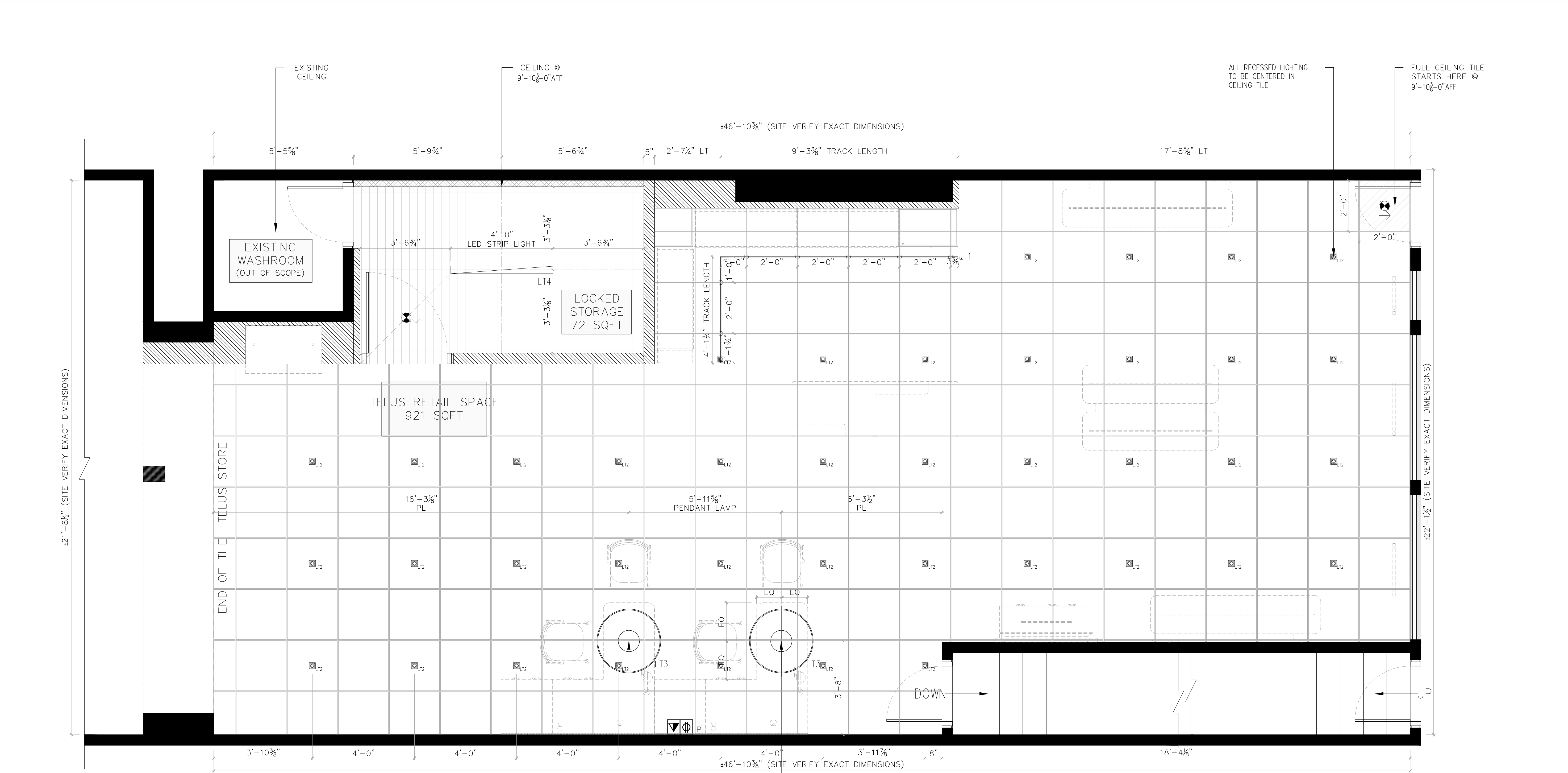


HG 2.5 CONCEPT
THE COMPUTER PLACE
510 BROADWAY AVE.
KILLARNEY, MB
R0K 1G0

FIXTURE
PLAN

ID 102

DATE: 2018		DRAWN BY: DG	CHECKED BY: R
PROJECT NO. TBD	SCALE: 0' - 1" = 1' - 0"		REVISION: N/A



RCP LEGEND

SYMBOL	DESCRIPTION	QTY/L
	CEILING RECESSED MOUNTED SINGLE CIRCUIT LIGHT TRACK. TRACK TO COME COMPLETE WITH ALL NECESSARY MOUNTING HARDWARE, ACCESSORIES, ELECTRICAL FEEDS, ETC., FOR COMPLETE AND OPERATIONAL SYSTEM. TRACK TO BE SUITABLE FOR INSTALLATION IN DRYWALL CEILINGS. TRACK FINISH TO BE WHITE ADJUSTABLE LED TRACK LUMINAIRE, 105° TILT, ADJUSTABILITY AND 360° ROTATION INTEGRAL DRIVER LUMINAIRE TO COME COMPLETE WITH 28° NARROW FLOOD BEAM SPREAD REFLECTOR AND CHANGEABLE LAMP OPTICS. PROVIDE PERIMETER FROST LENS (16L-PER-FRO). SQUARE TRIM FACE TO BE WHITE. ALL INTERIOR FINISH TO BE BLACK. DASAL ARCHITECTURAL LIGHTING ULC - PAUL WILSON 905-695-2264 LAMP: VOLTAGE: 120V LAMP: 1-19 WATT, LED, 3000K, 80+ CRI MODEL NO: JUNO #T254L-3K-N-WH-T5621 TRAC MASTER T4WH/T8WH SERIES (LENGTHS AS REQUIRED) TRACK WHITE	13'-5 1/4" 7
	RECESSED SQUARE LED DOWNLIGHT LUMINAIRE. INTEGRAL DRIVER LUMINAIRE COMPLETE WITH 40 DEGREE FLOOD BEAM SPREAD REFLECTOR AND CHANGEABLE LAMP OPTICS. PROVIDE PERIMETER FROST LENS (16L-PER-FRO). SQUARE TRIM FACE TO BE WHITE. ALL INTERIOR FINISH TO BE BLACK. DASAL ARCHITECTURAL LIGHTING ULC - PAUL WILSON 905-695-2264 LAMP: VOLTAGE: 120V LAMP: 1-25 WATT LED, 3000° K, 1500 LUMEN, 80+ CRI MODEL NO: JUDO-T-0-0-85-120-2-500-01- XIC-FL- 3000K-80-1500 C/W 16L-PER-FRO	39

	INDICATES NEW CUSTOM PENDANT LIGHTING FIXTURE. INCLUDES 30"Ø DRUM PENDANT X 16"H, EXTERIOR FINISH TO BE OPAQUE WHITE AND 376C PANTONE GREEN TO BE PRINTED INSIDE OF DRUM. MOUNTED AT 72" A.F.F. SUPPLIED BY TELUS. LAMP: VOLTAGE: 120V LAMP: 18W WARM WHITE LED (INTEGRAL 120-277V LED DRIVER) MODEL NO: #BAR-TPL-JC-TEL-DW-1001	2
	NEW LED STRIP LIGHT MANUFACTURER: LITHONIA LIGHTING : ALLIANCE LIGHTING: LEE CONIOARI 905. 884. 5600 X 201 MODEL No. 2LIN L48 5000LM PST 11VOLT 35K - 80CRI WH (4' LENGTH)	1
	RECESSED MOUNT EDGE-LIT LED SIGN, BATTERY BACK-UP. EXIT SIGN TO HAVE RED LETTERS (GREEN LETTERS WHERE PERMITTED BY CODE)	3

	INDICATES NEW GWB CEILING PAINT FINISH AS SPECIFIED C/W EMBEDDED METAL MESH BETWEEN GWB AND STUDS ABOVE
	INDICATES NEW 24" X 24" CEILING TILE
NOTES / COMMENTS	
<ol style="list-style-type: none">ALL CEILINGS TO BE "T" BAR CONSTRUCTION (UNLESS NOTED OTHERWISE) AT HEIGHTS INDICATED. ALL GYP. B.D. CEILINGS & INTERIOR OF CEILING TO RECEIVE PAINT FINISH.ALL SPRINKLER HEADS ARE FULLY RECESSED TYPE W/ WHITE FINISH. SEE ENGINEER'S DRAWING FOR SPECIFICATIONS. (AT VISIBLE RETAIL AREA).ALL ACCESS PANELS ARE CONCEALED, FRAMELESS. SEE ENGINEER'S DRAWINGS FOR SPECIFICATIONS (AT VISIBLE RETAIL AREA).CONTRACTOR TO VERIFY ALL BEAM SPREADS & LAMP TEMPERATURES W/ DESIGNER PRIOR TO FINAL ORDER OF LAMPS.ENSURE NO BASE BUILDING STRUCTURAL ELEMENTS INTERFERE W/ LIGHT TROUGHS/ COVES - REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING W/ WORK.ALL CEILINGS ADJACENT TO THE BASE BUILDING WINDOWS ARE TO BE INSTALLED AT A MINIMUM OF 1" ABOVE TOP OF WINDOWS.	

GENERAL NOTES

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THIS DRAWING IS NOT TO BE SCALED.

ISSUED FOR REVIEW



25 YORK ST.
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HG 2.5 CONCEPT
THE COMPUTER PLACE
510 BROADWAY AVE.
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R0K 1G0

REFLECTED
CEILING PLAN

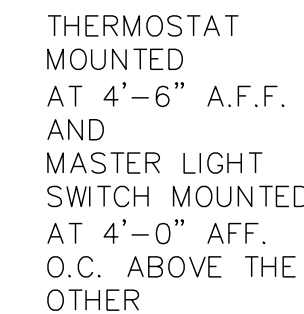
DRAWING NO.

ID103

DATE:	2018	DRAWN BY:	DG	CHECKED BY:	RT
PROJECT NO.	TBD	SCALE:	0' - 1/2" = 1' - 0"	REVISION:	N/A

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+21'-8 1/2" (SITE VERIFY EXACT DIMENSIONS)

END OF THE TELUS STORE

TELUS RETAIL SPACE
921 SQFT

EXISTING
WASHROOM
(OUT OF SCOPE)

LOCKED
STORAGE
72 SQFT

EXISTING
ELECTRICAL
PANEL IN THE
BASMENT

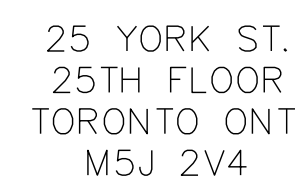
GC TO ADD POWER IN BACK OF
HOUSE PER CODE VERIFY WITH
DEALER BACK OF HOUSE
FURNISHING AND ADDITIONAL
POWER NEEDS (OFFICE/DESKS)

TYPICAL POWER PLACEMENT FOR
4' ACCESSORY WALL SECTION.
RECEPTACLE @ 3'-2" AFF. & 6'-9 1/4"
AFF.
REFER TO ELEVATIONS FOR DETAILS

POWER U/S OF
CEILING OR WALL
ABOVE WINDOW. GO
TO CONFIRM W/
DESIGNER

REV:	DESCRIPTION:	BY:	DATE:
	STATUS:		

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





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THE COMPUTER PLACE
510 BROADWAY AVE.
KILLARNEY, MB
ROK 1G0









POWER & COMMUNICATION PLAN

DRAWING NO.

ID104

<u>DATE</u>		<u>DRAWN BY</u>	<u>CHECKED BY</u>
2018		DG	R
<u>PROJECT NO.</u>	<u>SCALE</u>		<u>REVISION</u>
TBD	0' - 1" = 1' - 0"		N/A

PCP LEGEND	
	DUPLEX OUTLET MOUNTED AT 1'-0" O.C. A.F.F. UNLESS NOTED OTHERWISE
	FLOOR MOUNTED DUPLEX OUTLET
	FLOOR MOUNTED PHONE & DATA
	WALL MOUNTED DUPLEX OUTLET + PHONE & DATA
	PHONE & DATA
	KEYPAD FOR ALARM MOUNTED AT 3'-6" A.F.F. O.C.
	LIGHT SWITCH MOUNTED AT 4'-0" A.F.F. O.C.
	THERMOSTAT MOUNTED AT 4'-6" A.F.F. O.C.

	OPTIONAL PHONE & DATA
	OPTIONAL P02 PORT USB CHARGER/DUPLEX RECEPTACLE – LEVITON: NO. T5632 NE & DATA
	WALL MOUNTED GFI DUPLEX RECEPTACLE AS SPECIFIED BY ELECTRICAL ENGINEER.
	INDICATES MASTER SWITCH MOUNTED AT 4'-6" AFF. O.C. ABOVE THE OTHER
	VIBRATION SENSOR FOR SAFE
	EMERGENCY ASSIST CALL BUTTON AS SPECIFIED BY ELECTRICAL ENGINEER.
	VISUAL SIGNAGE & ALARM AS SPECIFIED BY ELECTRICAL ENGINEER.
	EMERGENCY ASSIST CALL SYSTEM SPECIFIED BY ENGINEERS.

NOTES:

1. DIMENSIONS OF ALL FLOOR MONUMENTS ARE RELATED TO THEIR RESPECTIVE UNITS. SEE PARTITION PLAN & FIXTURE PLAN FOR EXACT LOCATION OF UNITS.
2. OPTIONAL DATA ON ACCESSORY WALL TO ALIGN WITH POWER IF APPLICABLE.
3. ALL WIRING, CABLES, ETC. TO BE CONCEALED.
4. RELOCATE EXISTING SERVICES SUCH AS PULL STATION & FIRE ALLARM STROBES (IF APPLICABLE) ON TO NEW FURRED OUT WALL & AT NEW HEIGHTS SO AS NOT TO INTERFERE W/ WALL UNITS - SEE ENGINEER'S DRAWINGS.
5. PROVIDE FIRE EXTINGUISHERS ON THE PREMISES AS REQUIRED BY LOCAL FIRE CODE.
6. RECEPTACLES TO BE PLACED EVERY 12' AS PER THE BUILDING CODE.

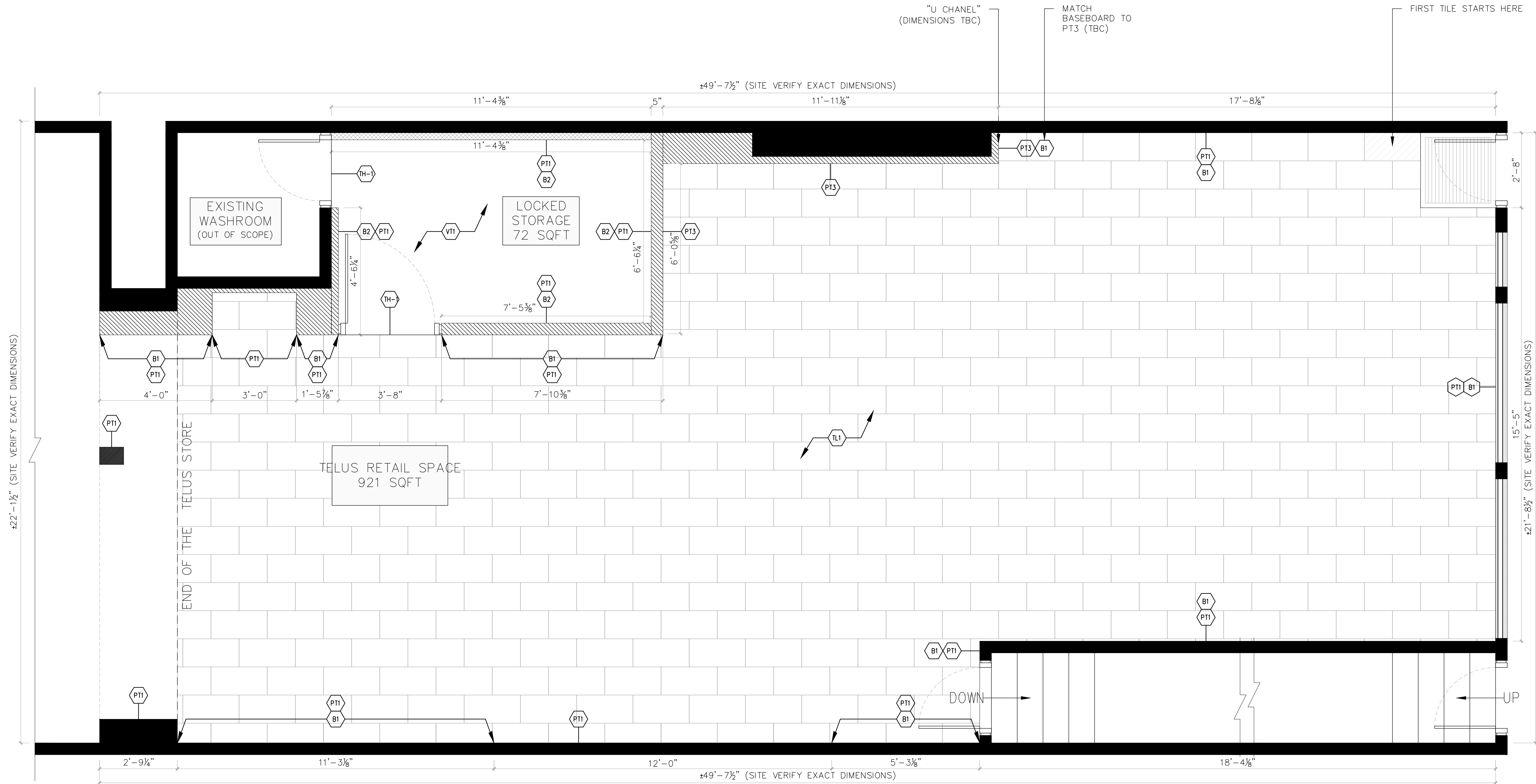
— DATA RACK LOCATED
IN THE BASEMENT

4'-0"
PLYWOOD BACKING

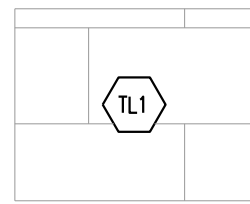
GENERAL NOTES

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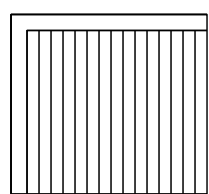
FINISH LEGEND



TILE FLOORING (12" X 24")
INSTALLED IN BRICK PATTERN

DOMAIN: DAL TILE P405 ASHGREY
GROUT: #78 STERLING SILVER
SUPPLIED BY TELUS

TOTAL TILED AREA ±590 SQFT.



FLOOR GRILLE: GATEWAY ULTRA SLIM
LINE, COLOUR GREY,
GENERAL OVAL STRAPPING, RESILIENT
FLOOR DIVISION
SOURCE: TIM CRAIK 905.632.3662

PT1	GENERAL PAINT FINISH: OC-68 DISTANT GRAY - EGGSHELL FINISH (WALLS)
PT3	TELUS PURPLE: ACCENT PAINT FINISH CUSTOM COLOUR MATCH #2745-C
B1	JOHNSTONITE MILLWORK RESILIENT WALL BASE MANDALAY 6" PROFILE, 3/8" THICK W/ RECTANGULAR SHAPE PROFILE W/ 45 DEGREE CHAMFER TOP EDGE. COLOR: SILVER.
B2	JOHNSTONITE APPLIED RUBBER BASE, 4"H. TRADITIONAL TOELESS DCT-08, COLOUR: 08 ICICLE W. BASE: REGULAR COVE BASE FROM JOHNSTONITE #71 STORM CLOUD (SAME AS RUBBER STRINGER)
TH-1	SCHLUTER TILE TO RESILIENT THRESHOLD RENO U, SATIN ANODIZED ALUMINUM (AE). HEIGHT TO SUIT TILE AND RESILIENT FLOOR. SEE THRESHOLD DETAILS

VI1	ARMSTRONG SULLIVAN SOURCE 416.538.6336 BACK ROOM FLOORING: 12" X 12" VCT, ARMSTRONG CONTRACT SERIES, COLOUR-THRU, CHARCOAL #51915 - BASE: REGULAR COVE BASE FROM JOHNSTONITE #71 STORM CLOUD (SAME AS RUBBER STRINGER)
VI2	ARMSTRONG ELECTRICAL AREA FLOORING: 12"X12" YELLOW VINYL TILE
C1	INTERFACE SUPER FLO PRODUCT #6090002504. COLOR: 609008 GREY, W/ GRAPHLAR BACKING. 50cm x 50cm TILES.

NOTES/SPECIFICATION

1. AT ALL TRANSITIONS BETWEEN DIFFERENT MATERIALS,
CONTRACTOR TO PROVIDE 3/8" X 3/8" ZINC "L" ANGLE.
2. CARPET TILES TO BE INSTALLED ABOVE FINISHED TILED
FLOOR.
3. TYPICAL BASE IS VINYL B1, 6 INCHES TALL, TO BE
SUPPLIED BY TELUS AND INSTALLED BY GENERAL
CONTRACTOR ON SITE. SEE SPECS.
4. PT1: COLOUR "SILVER GREY" NO 2131-60, BENJAMIN
MOORE, FINISH: EGGSHELL, APPLY 2 COATS
5. DOOR, TRIM AT PT1 WALLS TO REVIVE PT1A,
SEMI-GLOSS LATES FINISH, SAME COLOUR AS PT1
6. PROVIDE SCHLUTTER FOR TILE BASEBOARD

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HG 2.5 CONCEPT
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FINISH
PLAN

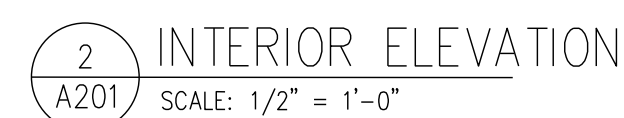
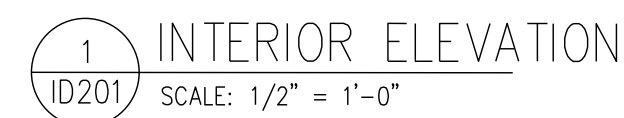
DRAWING NO.

ID105

DATE:	2018	DRAWN BY:	DG	CHECKED BY:	RT
PROJECT NO.	TBD	SCALE	0' - 1/2" = 1' - 0"	REVISION	N/A

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DIMENSIONS AND CONDITIONS ON SITE AND
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 **TELUS**

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25TH FLOOR
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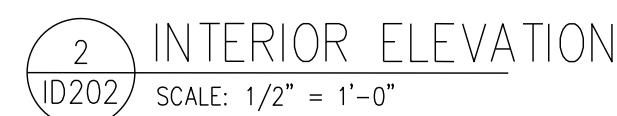
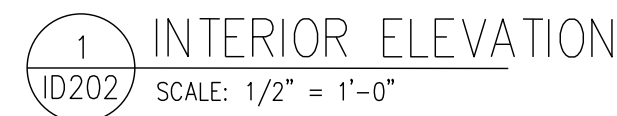
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INTERIOR ELEVATIONS

DRAWING NO.		ID201	
DATE	DRAWN BY	CHECKED BY	
	2018	DG	R
PROJECT NO.	SCALE	REVISION	
TBD	0' = 1" = 1' = 0"		N/A

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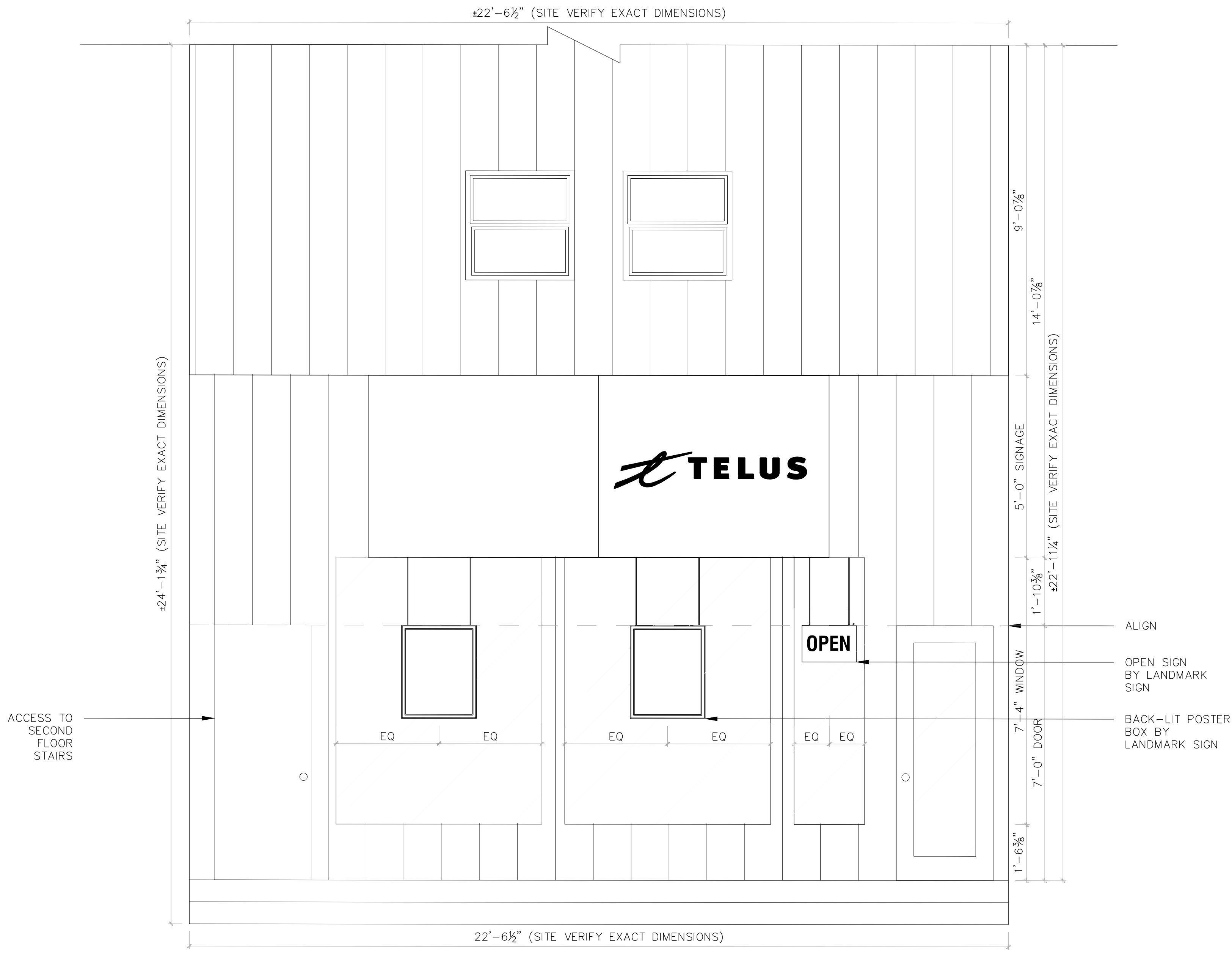
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INTERIOR ELEVATIONS

DRAWING NO.

ID 202

<u>DATE</u>		<u>DRAWN BY</u>	<u>CHECKED BY</u>
2018		DG	R
<u>PROJECT NO.</u>	<u>SCALE</u>		<u>REVISION</u>
TBD	0' - 1" = 1' - 0"		N/A



1 STORE FRONT ELEVATION
ID203 SCALE: 1/2" = 1'-0"

GENERAL NOTES

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REV:	DESCRIPTION:	BY:	DATE:
STATUS:			

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STOREFRONT
ELEVATION

DRAWING NO.

ID203

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PROJECT NO.	TBD	SCALE	0' - 1/2" = 1' - 0"	REVISION	N/A